



PLANNING FIRST FACT SHEET

What is 'Planning First'?

The philosophy of 'Planning First' speaks to the need to work with customers to ensure that they have the required planning approvals in place **before** issuance of a building permit. With 'Planning First', Planning and Development Services staff are the first contact for counter, email or phone enquires which ensure that projects can be reviewed for compliance with various planning documents prior to the submission of a "complete" building permit application. Applications for zoning certificates and building permits can be submitted concurrently; however, a building permit will not be issued until the zoning certificate is approved.

Why is the Township doing this?

The Township is doing this to streamline the building permit process, in compliance with current Building Code legislation. At this stage, Planning and Development Services staff will flag any additional approvals that may be required, such as:

- Certified Lot Grading (Engineering Review) if applicable
- Minor Variance/Consent
- Ontario Land Surveyor (OLS) Pinning or Topographic Elevations (waterfront)
- Entrance Permit (and associated Municipal Address Number, if required)
- Ministry of Transportation or County Roads

What is required as part of the submission for an Application for Zoning Certificate?

Two sets of plans are required in order for Staff to review the application. All measurements on plans must be in **METRIC**.

- Complete Application for Zoning Certificate
- Site Plan of the property (see example attached)
- Lot Grading Plan prepared and stamped by the professional who prepared the plans (if required; visit our [Lot Grading and Drainage page](#) to download our Lot Grading Procedure
- Drawings including: interior floor plans and exterior building elevations.
- A complete application can be submitted in person, drop box or email at planning@tay.ca

How long does a zoning approval take?

Staff commits to providing zoning comments within 4 business days, resulting in the issuance of a zoning certificate – or notice identifying deficiencies/other requirements. If the applicant requires Lot Grading approval the approval period is 7 business days.

Is there a fee for this service?

- Yes, the Zoning Certificate Review fee is \$25.00.

How long is a zoning certificate approval valid for?

If a zoning certificate is issued, it would remain valid unless changes to the Zoning By-law occur at which point it would be again to ensure compliance prior to the issuance of the building permit. Once the building permit has been issued, the Zoning Certificate remains valid so long as the building permit does not close and no changes to the permit occur.

What form of approval is provided?

Approved applications receive a zoning certificate. The drawings are stamped to identify they have been pre-approved for zoning regulations. These plans will be required to be submitted as part of a complete Building Permit application (refer to Permit Checklist).

It is the owner's responsibility to ensure that they are aware of their property lines and to ensure that the proposed construction occurs within their property and in compliance with the Township's Zoning By-Law. For additional information, please contact Andy Warzin, Planner, at 705-534-7248 at ext. 238.

PLANNING FIRST

List of Exemptions from Planning First

- Foundation repairs and works that do not increase the building footprint or raise the building more than 600mm (2 feet)
- Solid Fuel Burning Woodstoves and Fireplaces including chimney repairs
- Septic System
- Repair to Retaining Walls
- Plumbing
- Electrical
- Back Flow Prevention Devices
- Roof Top Solar Panels
- Finishing of Basements unless they are related to Duplexes or Secondary Suites
- Interior Renovations unless they are related to Change of Use
- Fire/Smoke Alarms
- Roof Repairs unless change in size of height
- Window Replacement (unless on designated Heritage Buildings)
- Decks located in the side and/or rear yards and are no greater than 10 square metres and **less than 600mm (24 in.) above grade and not attached to the building/structure** and are not covered (If it is the opinion of the Chief Building Official that the proposed deck does require a permit, even when it meets the above criteria, then a zoning certificate is required)

CERTIFIED LOT GRADING

Exemptions from Certified Lot Grading can be granted by the General Manager, Protective and Development Services.

To request an exemption, the applicant must fill out the exemption request form, provide a site plan showing the proposed development with the existing and proposed set backs of structures with existing drainage patterns of the site. Visit our [Lot Grading and Drainage page](#) to download our Lot Grading Procedure and Exemption form.



FEE: \$25.00

Application for Zoning Certificate Township of Tay

For Office Use Only

Certificate application number: _____ Receipt # _____ Payment Date: _____

Date received: _____ Roll number: _____

Building Permit submitted: _____ Building Permit Number: _____

A. Property information

Building number, street name _____ Unit number _____ Lot/con. _____

Municipality _____ Postal code _____ Plan number/other description _____

B. Applicant Applicant is: Owner or Authorized agent of owner

Last name _____ First name _____ Corporation or partnership _____

Street address _____ Unit number _____ Lot/con. _____

Municipality _____ Postal code _____ Province _____ E-mail _____

Telephone number _____ Fax _____ Cell number _____
() () ()

C. Owner (if different from applicant)

Last name _____ First name _____ Corporation or partnership _____

Street address _____ Unit number _____ Lot/con. _____

Municipality _____ Postal code _____ Province _____ E-mail _____

Telephone number _____ Fax _____ Cell number _____
() () ()

D. Purpose of application

New construction Addition to an existing building Alteration/repair Demolition

Proposed use of building _____ Current use of building _____

Description of proposed work _____

E. Declaration of applicant

I _____ certify that:
(print name)

1. The information contained in this application, attached plans and specifications, and other attached documentation is true to the best of my knowledge.
2. I have authority to bind the corporation or partnership (if applicable).

_____ Date

_____ Signature of applicant

What is required to apply?

- Completed Application Form
- Two copies of:
 - Site Plan**
 - Elevations**
 - Floor Plans**
 - Certified Lot Grading Plan** (if applicable)
 - Owner Authorization Form** " "

All plans must contain metric measurements

SITE PLAN REVIEW CHECKLIST	YES	N/A
<i>Must be in metric</i>		
<i>Show set backs in metres</i>		
<i>Show lot area in metres</i>		
<i>Show the width and depth of the property in metres</i>		
<i>Fill in the square metres (area) of all buildings</i>		
<i>Fill in the square metres (area) of proposed building</i>		

ELEVATIONS REVIEW		
Elevations, front, rear, right and left		
Must show proposed building height measured from average grade to midpoint of roof		

BUILDING FLOOR PLANS – DWELLINGS ONLY		
Show use of all rooms (kitchen, bedroom, bathroom and floor area per floor)		

CERTIFIED LOT GRADING PLAN -Not Required for Decks		
Required if:		
New dwellings that are either: <ul style="list-style-type: none"> a. Within a plan of subdivision, or b. Within 5 metres of a property line 		
Shed, garages, additions, or similar that are either: <ul style="list-style-type: none"> a. Greater than 50 m² within 5 metres of a property line or; b. Are within 2 metres of a property line 		
If Lot Grading Plan received - Send to Public Works First		
The General Manager, Protective and Development Services has the authority to waive the Lot Grading requirement		

OWNER AUTHORIZATION FORM REQUIRED IF ACTING ON BEHALF OF OWNER

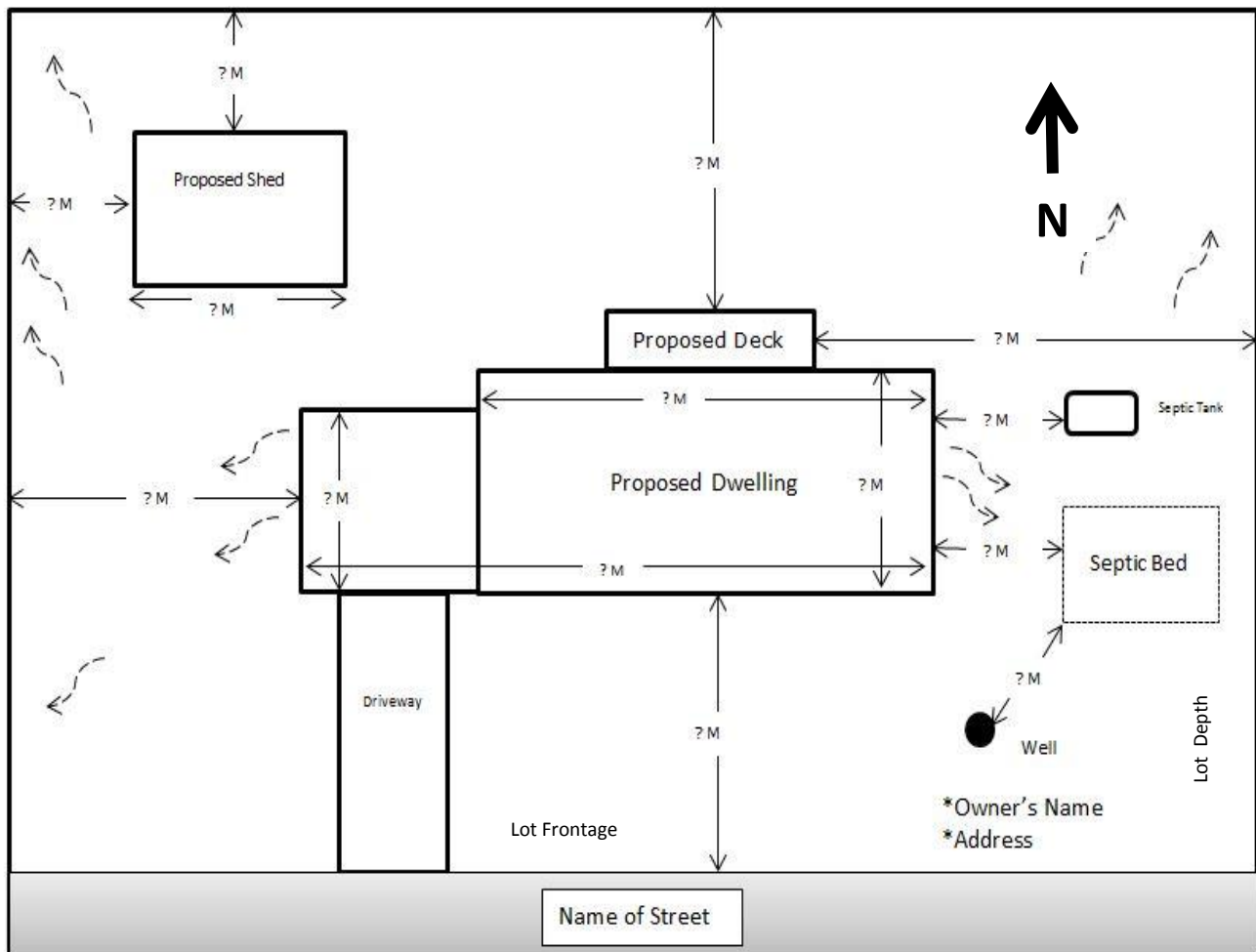
What is a Certified Lot Grading Plan?

Certified lot grading plans show how water drains from your property and is prepared by an Engineer, CET or Ontario Land Surveyor. The plan must include elevations of the dwelling and the land around it including the swales which carry the water off the property. The plans are required for all registered plans of subdivision, or infill lots where the structure/building is proposed within five (5) meters of a property line. Visit our [Lot Grading and Drainage page](#) to download our Lot Grading Procedure.



Zoning Certificate FAQ

Site Plan Example



Site Plan must display:

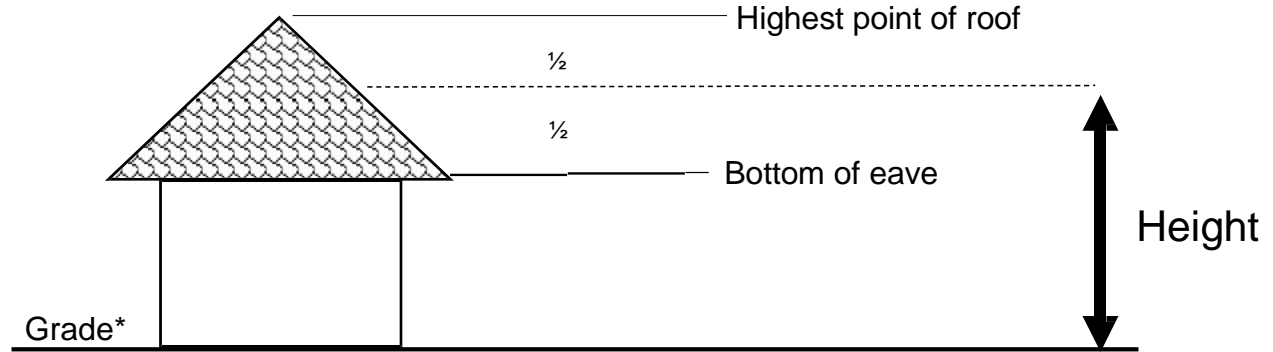
- ✓ All **existing and proposed structure(s)**
- ✓ **Setbacks** from property boundaries to current and/or proposed structure(s); shown in metres (represented as solid arrows) with metric measurements
- ✓ **Dimensions** of structures (represented as solid lines) with metric measurements
- ✓ **Septic system** and **well** (specify if dug or drilled)
 - Setbacks from: septic to well, and; septic to structures
- ✓ Direction of surface **drainage** (represented as dotted arrows)
- ✓ Driveway
- ✓ Lot Frontage
- ✓ Lot Depth
- ✓ North Arrow
- ✓ Road



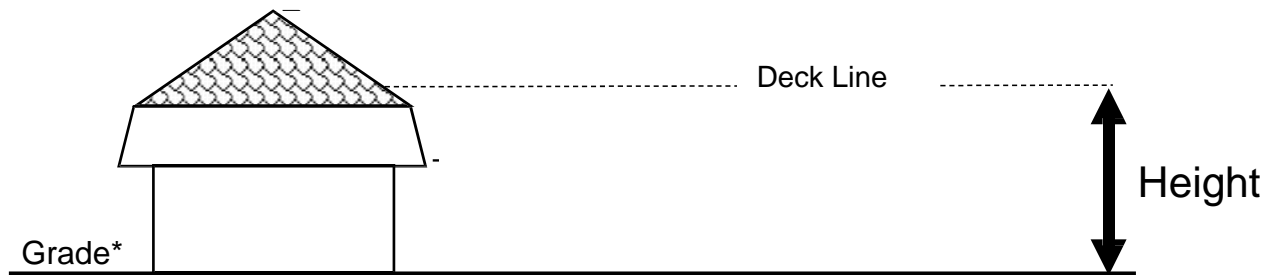
Zoning Certificate FAQ

Sample of Height

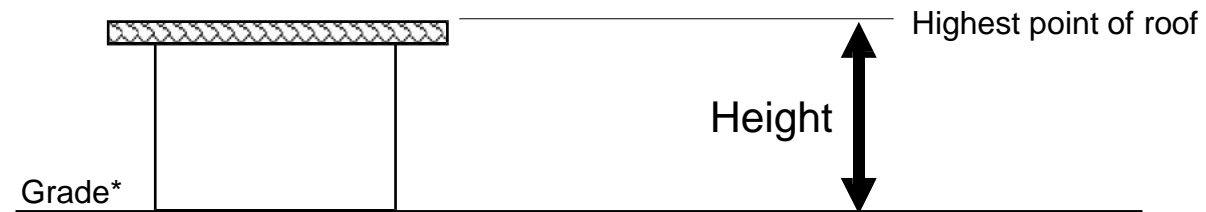
Gable Roof:



Mansard Roof:



Flat Roof:



*Measured from *average grade*.