




Standard Residential Deck Plan Information

BUILDING PERMIT GUIDELINES

Description		Required	Status	Comments
Applicable Law	County of Simcoe			If applicable
	Ministry of Transportation (MTO)			If applicable
Forms	Building Permit Application	✓		
	Schedule 1: Designer Information	House	✓	Note: House category required for qualified designer or if plans completed by homeowner, must sign the exemption
Plans	Site Plan	✓		Including septic location
	Deck Framing Plan	✓		
	Exterior Elevations	✓		
	Cross Section – including guards	✓		
	Letter of Agent			When application is not signed by the owner
	Permit Fee	✓		As per Fee By-law calculated at permit review
 <p>Electronic submission of application, and all plans and reports to be uploaded into Cloudpermit in PDF format.</p>				

Decks and Septic Systems

1. Decks may not be constructed on septic leaching beds
2. If a deck is constructed over a septic tank, there shall be sufficient room for ventilation and access to service the tank.
3. Setbacks from deck pier to septic tank is to be 1.5m as per OBC.
If closer, the deck pier may be 1m away from tank provided the depth is the same as tank.
4. Setbacks from deck pier to a leaching bed is to be 2.5m to edge of bed.



Standard Residential – Deck Plan Information

A Building Permit is required for *most* deck projects. Prior to beginning any work, please contact the Building Division, to clarify if a permit is required for your project.

Deck's that require a Building Permit include:

- Repairs/Rebuilds, or replacements.
(This includes joists, beams, posts, piers, stairs, and guards)

Deck's that **Do Not** require a Building Permit:

- Decks less than 23 5/8" (600mm) in height from walking surface to grade when measured in accordance with the Ontario Building Code requirements, and
- Decks not providing access to the principal entrance, and
- Decks not structurally connected to a building.

Note: Regardless of whether a permit is required or not, setbacks from septic tanks, tile beds and distribution piping are still required to be maintained.

Decks must not encroach any closer than:

- Minimum 1.5m (5') to septic tank, and
- Minimum 2.5m (8') to tile bed distribution piping.

* Homeowners may choose to build a deck themselves, however Township staff would encourage you to obtain a proper set of construction plans provided by a design professional.

This provides you with sufficient information to complete the project, meeting the Ontario Building Code minimum requirements, and allowing for a smoother application and inspection process.

All permits shall be submitted via our online permit application software, Cloudpermit. More info, please see our webpage at [Building and Construction - Tay Township](#)

Inspections

Required Inspections include:

1. Prior to pouring concrete for foundation / piers.
2. Framing inspection prior to installing deck boards.
3. Final inspection once your project is complete.
4. Additional inspections may be required (as per Building Official).

Inspection requests can be made by calling 705-534-7248 x 220 OR
by email at building@tay.ca

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority				
Application number:		Permit number (if different):		
Date received:		Roll number:		
Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority)				
A. Project information				
Building number, street name			Unit number	Lot/con.
Municipality	Postal code	Plan number/other description		
Project value est. \$		Area of work (m ²)		
B. Purpose of application				
<input type="checkbox"/> New construction	<input type="checkbox"/> Addition to an existing building	<input type="checkbox"/> Alteration/repair	<input type="checkbox"/> Demolition	<input type="checkbox"/> Conditional Permit
Proposed use of building		Current use of building		
Description of proposed work				
C. Applicant				
Applicant is: <input type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner				
Last name		First name	Corporation or partnership	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax	Cell number		
D. Owner (if different from applicant)				
Last name		First name	Corporation or partnership	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax	Cell number		

E. Builder (if known)				
Last name	First name	Corporation or partnership (if applicable)		
Street address		Unit number	Lot/con.	
Municipality	Postal code	Province	E-mail	
Telephone number	Fax		Cell number	
F. New home construction licensing requirement				
i. Is the proposed construction for a new home as defined in the <i>New Home Construction Licensing Act, 2017</i> ? If no, go to section G.		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
ii. Is a licence required under the <i>New Home Construction Licensing Act, 2017</i> ?		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
iii. If yes to (ii) provide licence number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
iv) The proposed building, construction or demolition will not contravene any applicable law.		<input type="checkbox"/> Yes	<input type="checkbox"/> No	
I. Declaration of applicant				
<p>I _____ declare that:</p> <p style="text-align: center;">(print name)</p> <ol style="list-style-type: none"> 1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. <p>_____</p> <p style="display: flex; justify-content: space-between;"> Date Signature of applicant </p>				

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 12th Floor. Toronto, ON M7A 2J3 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information				
Building number, street name			Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description		
B. Individual who reviews and takes responsibility for design activities				
Name		Firm		
Street address			Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax number		Cell number	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]				
<div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings </div> <div style="width: 30%;"> <input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection </div> <div style="width: 30%;"> <input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input type="checkbox"/> On-site Sewage Systems </div> </div>				
Description of designer's work				
D. Declaration of Designer				
<p>I _____ declare that (choose one as appropriate):</p> <p style="text-align: center;">(print name)</p> <p><input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p style="margin-left: 40px;">Individual BCIN: _____</p> <p style="margin-left: 40px;">Firm BCIN: _____</p> <p><input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.</p> <p style="margin-left: 40px;">Individual BCIN: _____</p> <p style="margin-left: 40px;">Basis for exemption from registration: _____</p> <p><input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code.</p> <p style="margin-left: 40px;">Basis for exemption from registration and qualification: _____</p> <p>I certify that:</p> <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm. <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div style="width: 30%; border-top: 1px solid black; text-align: center;">Date</div> <div style="width: 60%; border-top: 1px solid black; text-align: center;">Signature of Designer</div> </div>				

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Professional Engineers Ontario.

TOWNSHIP OF TAY

Building Services Division

450 Park Street, P.O. Box 100, Victoria Harbour, ON L0K 2A0

Phone (705) 534-7248 Fax (705) 534-4493



AUTHORIZATION FOR AN APPLICATION

FOR A BUILDING PERMIT

BY A PERSON OTHER THAN THE LEGAL OWNER

I _____, being the legal owner of the
subject property located at _____
in the Township of Tay, hereby authorize _____
to apply for a building permit for work to be done on this property.

Date

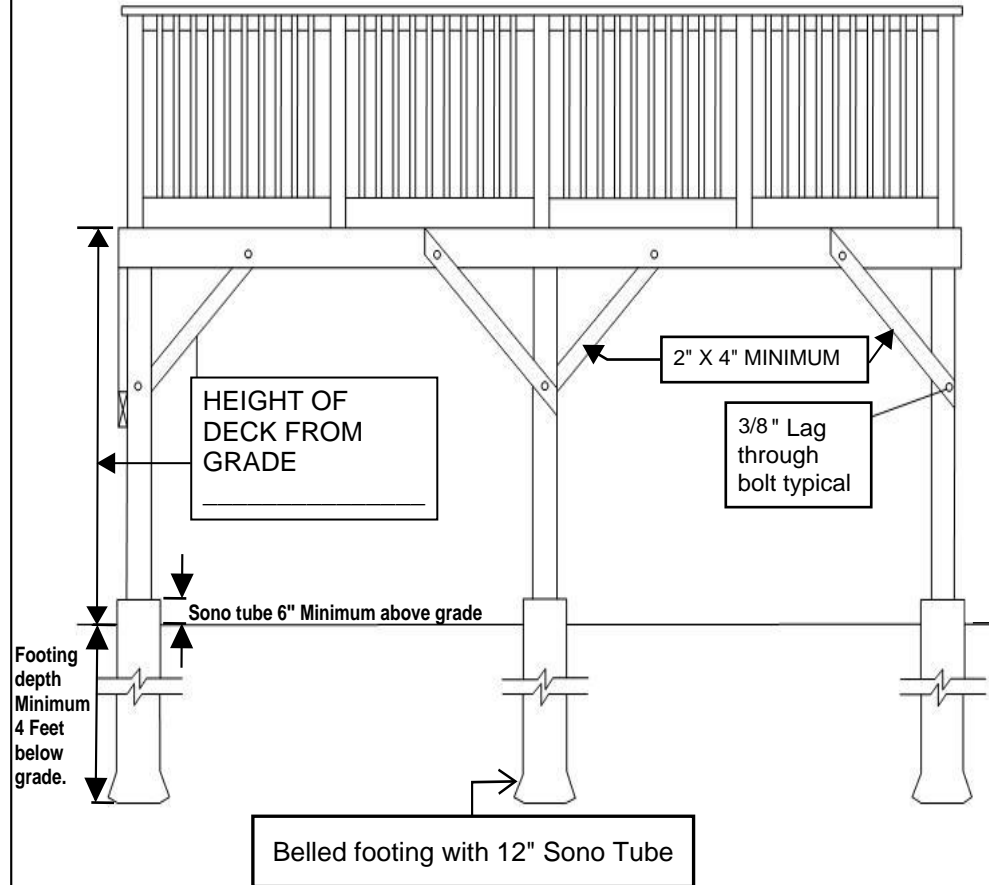
Signature of Legal Owner

Personal information contained on this form/document/application is collected pursuant to the *Municipal Freedom of Information and Protection of Privacy* legislation and will be used for the purpose for which it was collected. Questions about this collection should be directed to the Clerk of the Township of Tay.

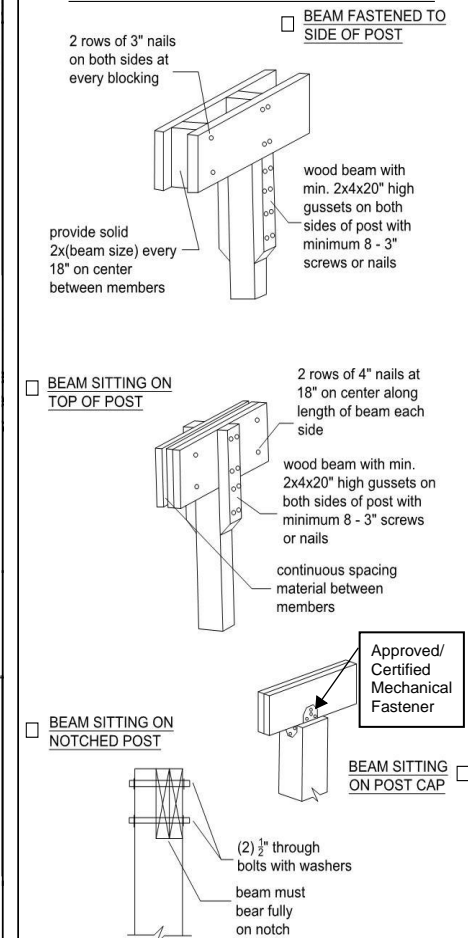
GENERAL INFORMATION:

- All lumber shall be decay resistant, with all cut ends of preservative treated lumber treated to prevent decay.
- All framing connections shall be **nailed** in accordance with OBC 9.23.3.4. Only deck boards may be secured with either **nails or screws**. Guards must be fastened in accordance with SB-7. Nailing, screws, lag bolts, and machine bolts shall not cause splitting of wood elements. **Fasteners shall be resistant to corrosion.**
- When deck ledgers are attached to Engineered Wood Products (structural composite lumber rim board or laminated veneer lumber), the ledger board shall be designed in accordance with the manufacturers recommendations or good Engineering practices.
- Provide lateral support (diagonal bracing) to deck posts when posts are more than 600mm (23 5/8") in length.
- Beam splices are recommended to occur over posts or support only.
- Provide mid-span blocking where joists span are over 6' 11".

FRONT ELEVATION WITH LATERAL BRACING DETAIL



TYPICAL CONSTRUCTION DETAILS



Maximum Joist Length

Joist Size	Max. Span
2x8 @ 12" O.C.	12'-0"
2x8 @ 16" O.C.	11'-0"
2x10 @ 12" O.C.	14'-0"
2x10 @ 16" O.C.	13'-0"
2x12 @ 12" O.C.	14'-0"
2x12 @ 16" O.C.	14'-0"

Note: All lumber SPF or better

Note: Base of footing is permitted to be belled out (see above) to achieve required footing size with a minimum 12" sono tube.

Joist Span

Joist Span	Beam Spans				
	6'-0"	8'-0"	10'-0"	12'-0"	14'-0"
6'-0"	2 Ply 2x8	2 Ply 2x8	3 Ply 2x8	3 Ply 2x10	3 Ply 2x12 4 Ply 2x10
8'-0"	2 Ply 2x8	2 Ply 2x8	3 Ply 2x8	3 Ply 2x10	3 Ply 2x12 4 Ply 2x10
10'-0"	2 Ply 2x8	3 Ply 2x8	3 Ply 2x8	3 Ply 2x10	3 Ply 2x12 4 Ply 2x10
12'-0"	3 Ply 2x8	3 Ply 2x8	3 Ply 2x10 4 Ply 2x8	3 ply 2x10	3 Ply 2x12 4 Ply 2x10
14'-0"	3 Ply 2x8	3 Ply 2x10	3 Ply 2x10 4 Ply 2x8	3 Ply 2x12 4 Ply 2x10	3 Ply 2x12 4 Ply 2x10

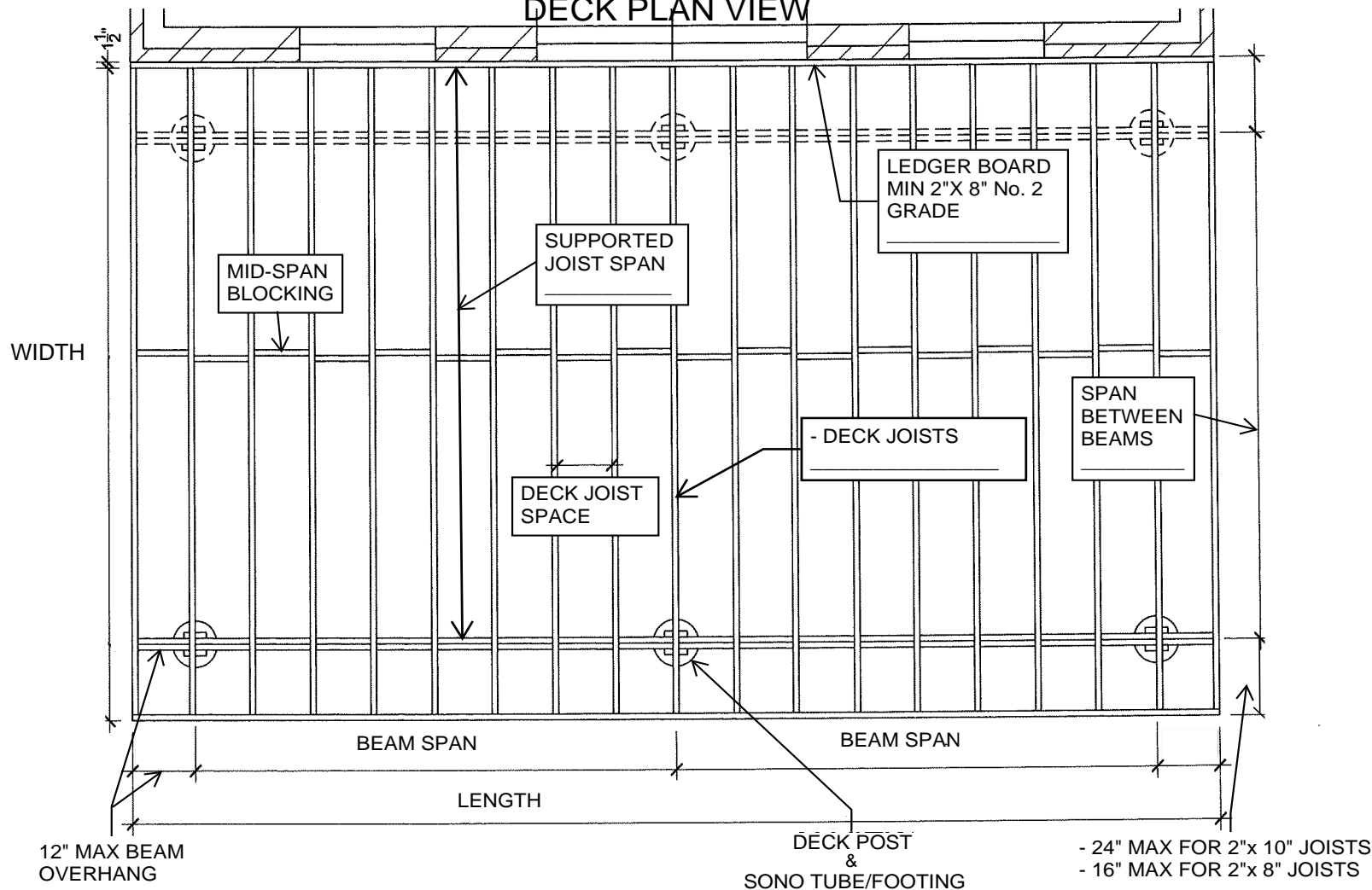
Joist Span

Joist Span	Base Diameter for Pier Spacing (Based on 100 kPa)				
	6'-0"	8'-0"	10'-0"	12'-0"	14'-0"
6'-0"	8"	10"	10"	12"	14"
8'-0"	10"	12"	12"	14"	16"
10'-0"	10"	12"	14"	16"	18"
12'-0"	12"	14"	16"	18"	18"
14'-0"	12"	16"	18"	18"	20"



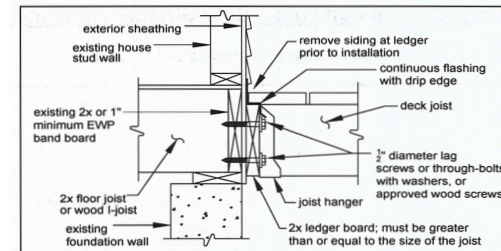
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Victoria Harbour, ON
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DECK PLAN VIEW

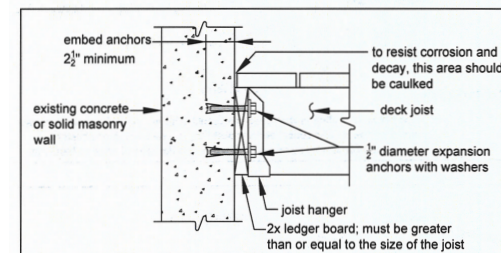


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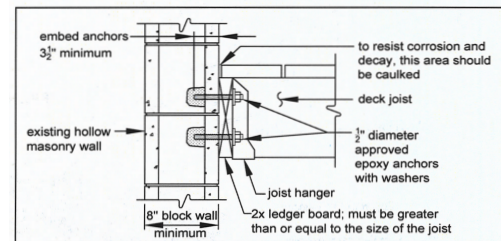
LEDGER BOARD CONNECTION TO RIM BOARD



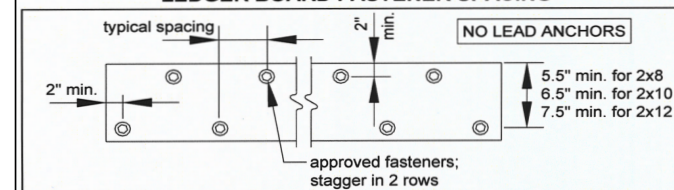
LEDGER BOARD CONNECTION TO POURED FOUNDATION WALL



LEDGER BOARD CONNECTION TO BLOCK WALL



LEDGER BOARD FASTENER SPACING



LAG BOLT SIZE	10' JOIST SPAN	14' JOIST SPAN
1/2" LAG BOLT	16" ON CENTER	12" ON CENTER
EQUIVALENT 16" O/C JOIST SPACING	EVERY JOIST SPACE	EACH JOIST SPACE WITH TWO EVERY OTHER SPACE
LEDGER SHALL NOT BE NAILED , MUST BE LAGGED OR BOLTED TO THE WOOD OR CONCRETE STRUCTURE		

Property Address: _____

Deck Size: Width: _____ Length: _____ Material: _____

Deck Height: Ground to top of decking: _____

Stair Steps : Rise: _____ Run: _____

Decking: Size: _____ Material: _____

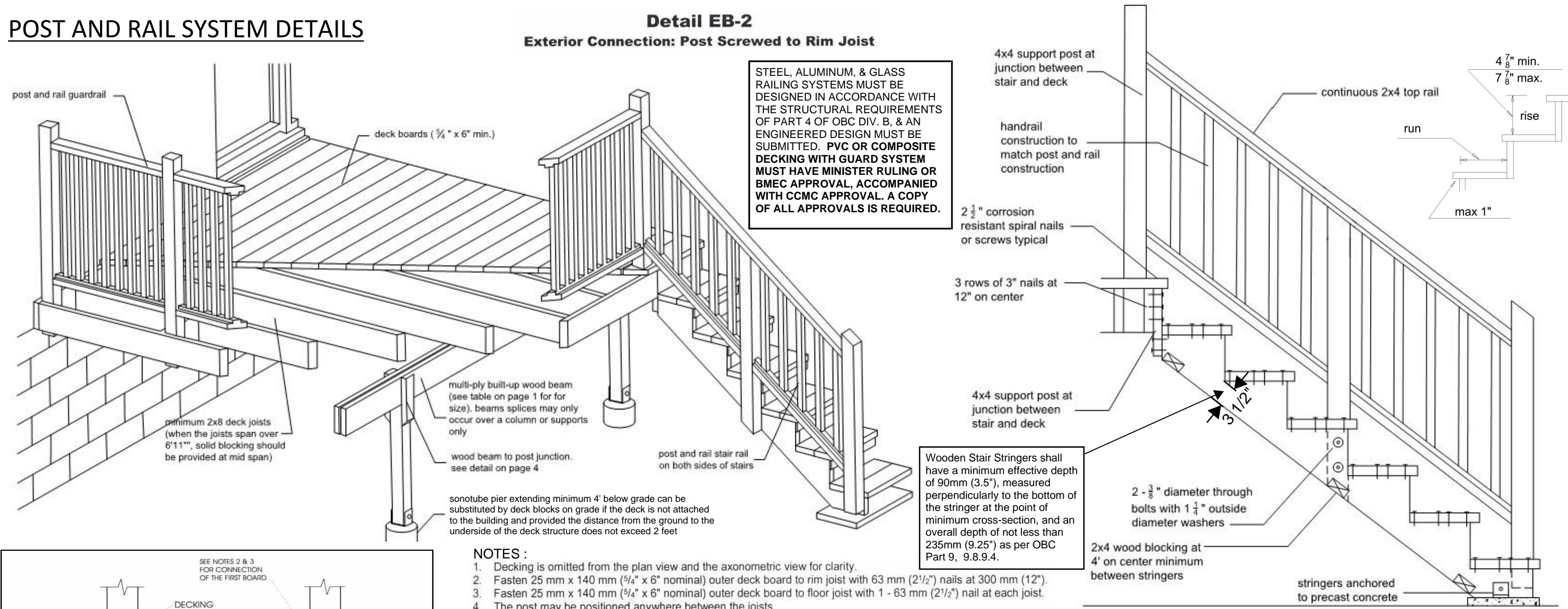
Guard: Height: _____

Type: 1. Cantilevered pickets system
2. Post and rail system
3. Other, please specify: _____

Joists:	Size:	X	@	O.C.
Beam:	Size:	X	X	Ply
Beam (if req.):	Size:	X	X	Ply
Post:	Size:	X	(6x6 Min.)	
Footing:	Sonotube:		Dia.	Base: Dia.
Deck Ledger (for attached decks):				
Ledger board size:	X	Carriage bolt size:	(min. 1/2")	
Carriage bolt length:		Spacing:		

POST AND RAIL SYSTEM DETAILS

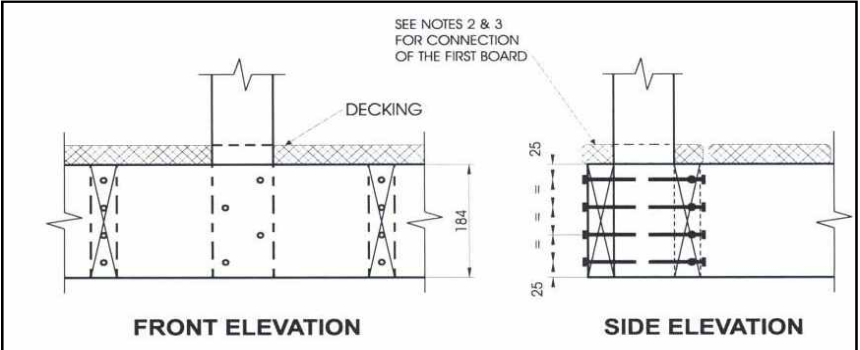
Detail EB-2
Exterior Connection: Post Screwed to Rim Joist



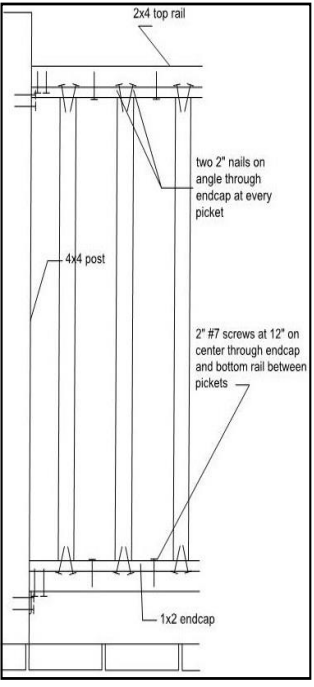
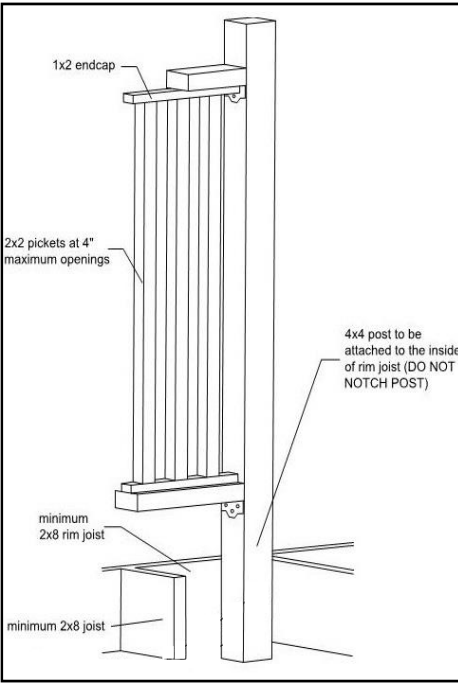
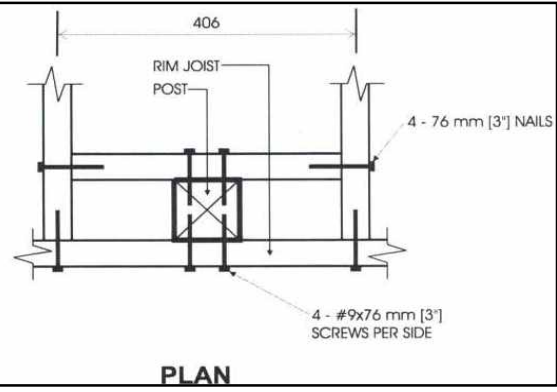
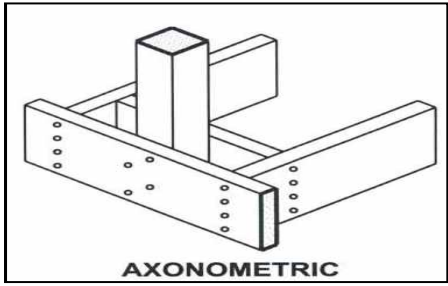
STEEL, ALUMINUM, & GLASS RAILING SYSTEMS MUST BE DESIGNED IN ACCORDANCE WITH THE STRUCTURAL REQUIREMENTS OF PART 4 OF OBC DIV. B, & AN ENGINEERED DESIGN MUST BE SUBMITTED. **PVC OR COMPOSITE DECKING WITH GUARD SYSTEM MUST HAVE MINISTER RULING OR BMEC APPROVAL, ACCOMPANIED WITH CCMC APPROVAL. A COPY OF ALL APPROVALS IS REQUIRED.**

Wooden Stair Stringers shall have a minimum effective depth of 90mm (3.5"), measured perpendicularly to the bottom of the stringer at the point of minimum cross-section, and an overall depth of not less than 235mm (9.25") as per OBC Part 9, 9.8.9.4.


- NOTES :**
- 1. Decking is omitted from the plan view and the axonometric view for clarity.
 - 2. Fasten 25 mm x 140 mm (5/4" x 6" nominal) outer deck board to rim joist with 63 mm (2 1/2") nails at 300 mm (12").
 - 3. Fasten 25 mm x 140 mm (5/4" x 6" nominal) outer deck board to floor joist with 1 - 63 mm (2 1/2") nail at each joist.
 - 4. The post may be positioned anywhere between the joists.
 - 5. #9 screws may be replaced by #8 screws if the maximum spacing between posts is not more than 1.20 m (3'-11").
 - 6. Dimensions shown are in mm unless otherwise specified.



GUARDS		
MIN. HEIGHT OF GUARDS:	BETWEEN 24" & 5'11" ABOVE GRADE	MORE THAN 5' 11" ABOVE GRADE
	MIN. 36" HIGH	MIN. 42" HIGH
MAX. SPAN OF RAIL BETWEEN POSTS	SPECIES: DOUGLAS FIR-LARCH, HEMLOCK-FIR, SPRUCE-PINE-FIR	
	MAXIMUM SPAN, m (ft-in) = 1.56m (5' 1")	
GUARD NOTES:	NO CLIMBABLE ATTACHMENTS	
	NO OPENINGS GREATER THAN 4"	
ON ALL GUARDS, NO MEMBER OR ATTACHMENT BETWEEN 5 1/2" & 36" SHALL FACILITATE CLIMBING		
MIN. 20 GAUGE FRAMING ANCHOR TO BE USED AT ALL POST TO RAIL CONNECTIONS, PLASTIC CLIPS ARE NOT PERMITTED		
ALL GUARDS SHALL MEET REQUIREMENTS SET OUT IN DIV. B SUBSECTION 9.8.8. & SB-7 OF THE SUPPLEMENTAL STANDARDS OF THE 2012 OBC		

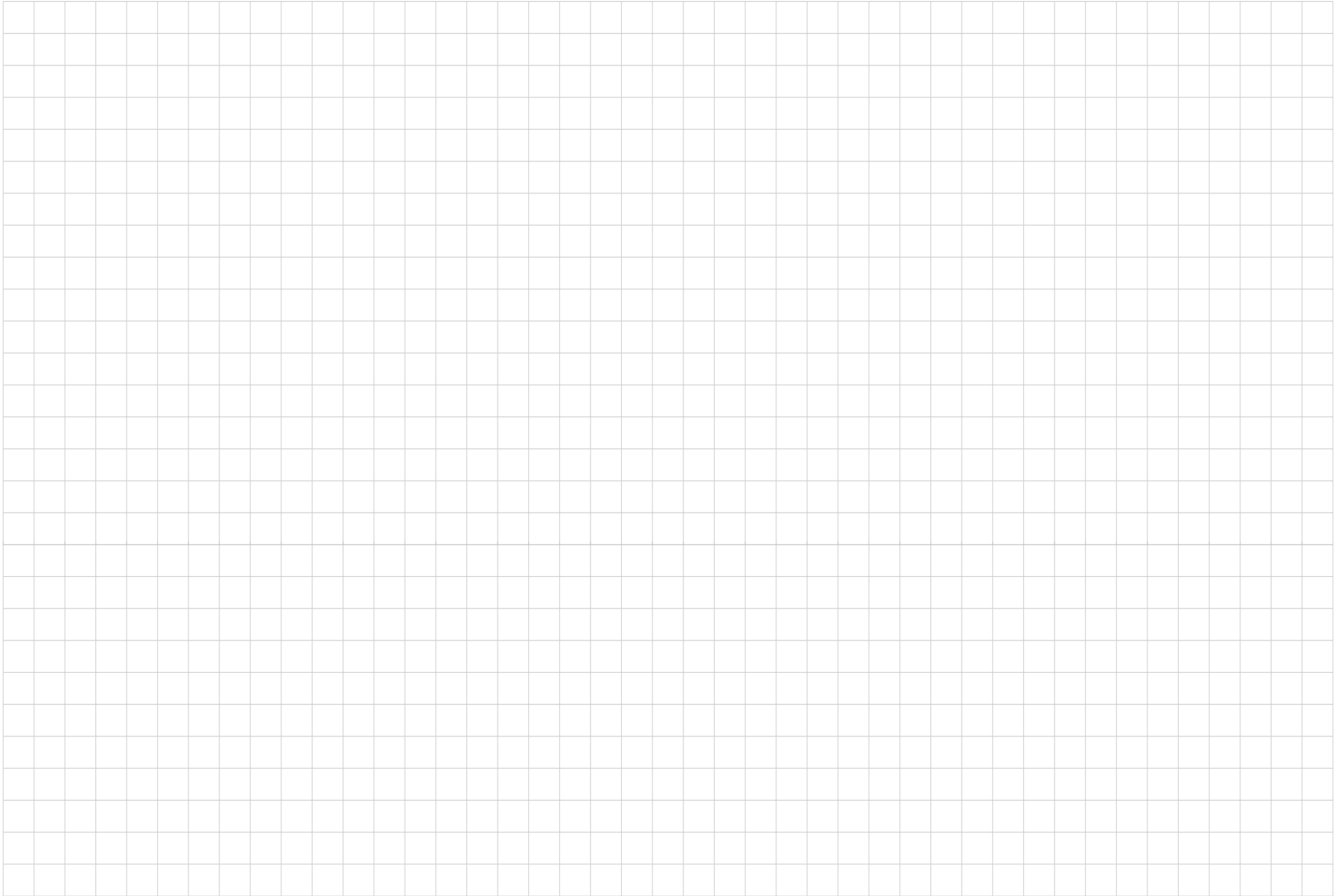


STAIRS		
RISE	MIN. RISE = 4 7/8" VERTICALLY	MAX. RISE = 7 7/8" VERTICALLY
RUN	MIN. RUN = 10" HORIZONTALLY	MAX. RUN = 14" HORIZONTALLY
ALL STEPS TO BE EQUAL RISE & RUN BETWEEN LANDINGS		
WOOD STAIR STRINGERS SHALL BE A MIN. SIZE OF 2" x 10" WITH MIN. EFFECTIVE DEPTH OF 3 1/2" MEASURED PERPENDICULARLY TO BOTTOM OF STRINGER		
THE SPACE BETWEEN STRINGERS SHALL BE NOT MORE THAN 2' 11" (35")		
STRINGERS SHALL BE SUPPORTED & SECURED AT TOP & BOTTOMS		
STAIRS WITH MORE THAN 3 RISERS MUST HAVE A HANDRAIL		



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SITE PLAN





Standard Residential Deck Plan Information

CONSTRUCTION NOTES:

1. All fasteners shall be resistant to corrosion.
2. All lumber shall be decay resistant. All cut ends of preservative treated lumber shall be treated to prevent decay.
3. Minimum height of guard for a deck between 24" and 5'-11" above grade: **36"**.
4. Minimum height of guard for a deck more than 5'-11" above grade: **42"**.
5. Maximum 4" opening between pickets and no member or attachment between 5'-1/2" and 36" shall facilitate climbing.
6. Composite decking is required to have BMEC or CCMC approvals.
7. Pre-engineered guard systems (what you would purchase from lumber store) are required to have Ontario Engineering.
8. Any guard assembly that is site manufactured, such as wood/glass guards, is required to be engineered.
9. A privacy wall / fence boards is permitted if constructed as a guard and should be discussed with Building Inspector prior to proceeding.
10. All work whether detailed on plans or not is subject to the filed approval of the Building Inspector and shall meet Ontario Building Code.
11. Footings/piers shall bear on undisturbed soil minimum 48" below grade.
12. Deck blocks shall bear on stone base or native soils (topsoil and organics removed)
13. Deck posts shall be centrally located on footings/piers.
14. All framing connections shall be **nailed** in accordance with OBC 9.23.3.4. Only deck boards can be secured with either **nails or screws**. Guards must be fastened in accordance with SB-7.
 - a. Nailing, screws, lag bolts, and machine bolts shall not cause splitting of wood elements.
 - b. Fasteners shall be resistant to corrosion.
 - c. All nails shall be common spiral.



Standard Residential Deck Plan Information

Preferred Deck Post Bracket

